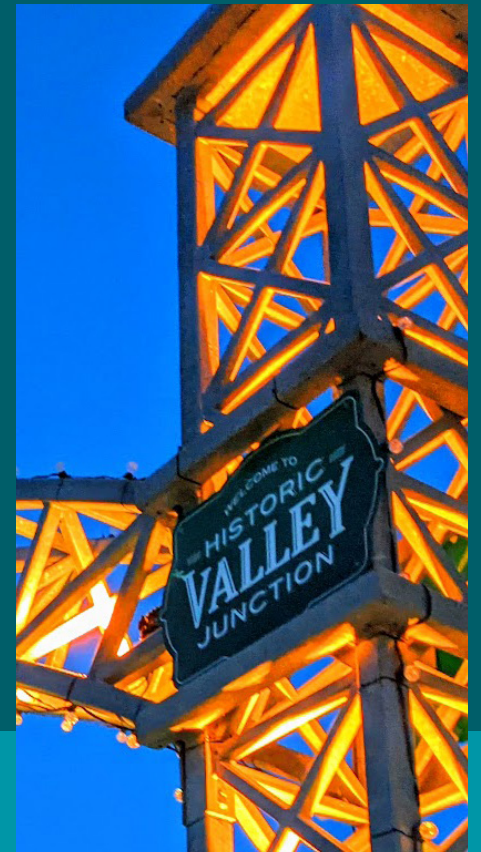
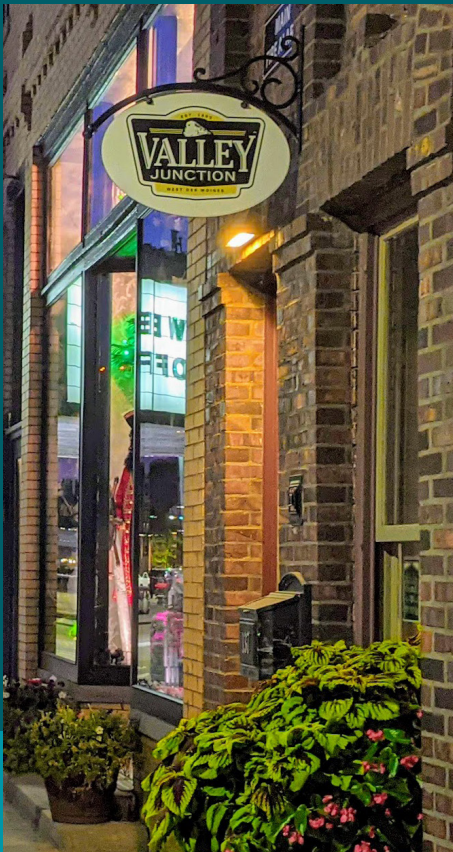


DRAFT 2022-02-03

Recommended Unanimously by Steering Committee on February 2nd, 2022

Historic West Des Moines DESIGN GUIDELINES

Building Scale · Architecture · Roof Treatments · Building Materials · Site Design · Streetscape · Parking · Screening · And More



DRAFT FOR P+Z REVIEW

Historic West Des Moines DESIGN GUIDELINES

Contents

Only these sections (pages 1-40) are where recommendation/approval is being sought. Other chapters will be addressed at a later date as an amendment to the guidelines.

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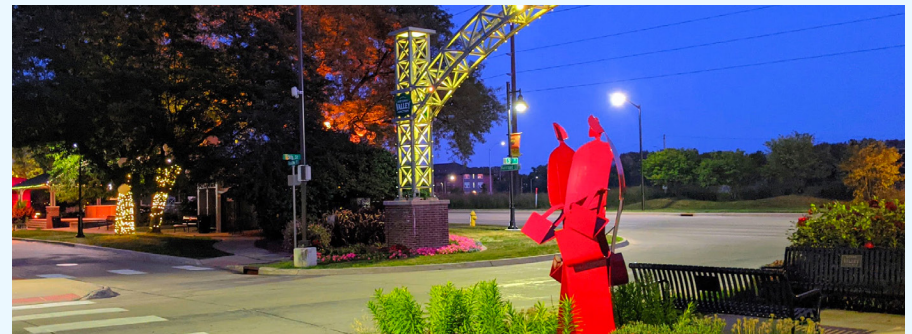
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[Visual Preference Survey Results](#)

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Guidelines developed by Teska Associates, Inc. with historical and architectural assistance from Bauer Latoza Studio.

Team Acknowledgments

Better Together

This document was made possible thanks to the dedicated leadership of our Steering Committee, the passion and commitment of local neighborhood organizations, the support, knowledge, and resources provided by the Historic Valley Junction Foundation, and the ongoing stewardship and investment of staff and the City of West Des Moines.

To the residents, businesses, and local stakeholders who came together to shape and inform these Design Guidelines: Thank you for every insight shared, question asked, topic raised, meeting attended, survey completed, and hour spent discussing the past, present, and future of Historic West Des Moines.

Your collective contributions:

- told a story of historic past times, railroad roots, and identity;
- painted a picture of community character, charming and kitschy;
- shaped a vision of what the future should look and feel like; and
- amplified the importance of how the details of a development (architecture, built form, materials, massing, and context sensitivity - to name a few) impact much more than the site on which they sit.

Steering Committee

Historic West Des Moines Master Plan Update

Mitchell Callahan · Resident, Mayor Appointed
Scott Cutler · Business, Historic Valley Junction Foundation
Nan Earll · Resident, Historic WDM Valley Junction Neighborhood Association.
Julie Eliason · Business Representative, Historic Valley Junction Foundation
Steve Frevert · Business Representative, Historic Valley Junction Foundation
Renee Hardman · City Councilmember (ex-officio, non-voting member)
Katherine Harrington · Business, WDM Chamber of Commerce
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Scott Hatfield · WDM Planning & Zoning Commission Member
Nate Hon · Resident, Historic WDM Valley Junction Neighborhood Association
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Vicky Long Hill · Resident, Valley Junction Resident Association
Aaron Sewell · Resident, Mayor Appointment
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Vincent Valdez · Resident, Valley Junction Resident Association
Mark Veiock · Business, Historic Valley Junction Foundation
Meredith Wells · Business, Historic Valley Junction Foundation
Debbie Westphal Swander · Business Representative



Establishing the Design Guidelines Process + Engagement

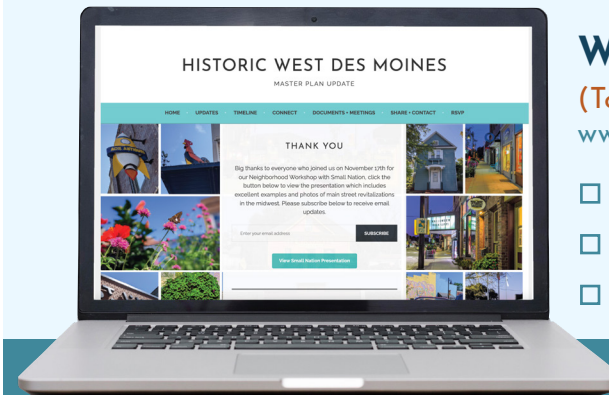
Historic West Des Moines is a community many love to call home. Filled with an array of new and long standing residents, eclectic shops and restaurants, local entrepreneurs, organizations, and stakeholders, the community is rich in history, character, and opportunity. To ensure the future of Historic West Des Moines aligns with and celebrates this spirit, the Design Guidelines were informed by a robust engagement and outreach process.



(1) Nov. 17th, 2021 'Historic West Des Moines Merchant Breakfast' with the Valley Junction Foundation, hosted by St Kilda + (2) Jan. 6th, 2022 Steering Committee Meeting

Building Consensus

Facts + Figures of Community Engagement



Website Stats

(To-Date: March 2022)
www.historicwdm.com

- 15.5K+ Website Views
- 5.5K+ Website Visitors
- 150 Subscribers

20+

Hours of Discussion

Steering Committee Meetings
To-Date (June 2021 - March 2022)

420

Workshop Participants

Virtual Design
Workshop

478

Survey Participants

Community Character Poll +
Visual Preference Survey

600+

Design Insights

Visual Preference
Survey Comments

Process + Engagement

Spotlight on the Visual Preference Survey

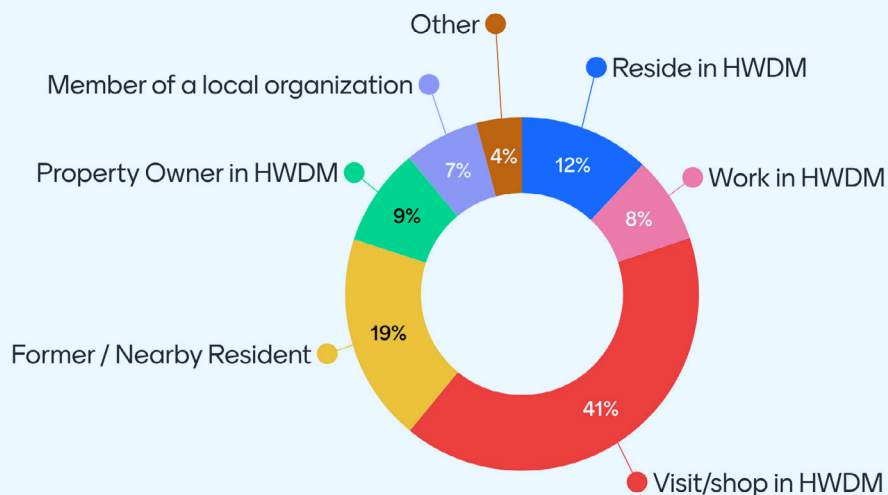
Visual Preference Survey Overview

- **Purpose:** Inform creation of Design Guidelines and Zoning
- **Four Categories:**
 - **Built Form** | Architecture, Materials, Facade, Roofline, Scale, Context
 - **Ground Floor** | Entryways, Corner Treatments, Awnings, Accents
 - **Streetscape** | Patios, Landscaping, Art, Signage, Lighting, Heritage
 - **Parking + Screening** | Landscape Buffers, Sight lines, Fences

Visual Preference Survey Participant Profile

■ 338 Respondents

■ 600+ Comments



Visual Preference Survey Comments

Like the eclectic past and current forms and materials. Their variety create a vibrant environment for work, living, and play...

Love a mix of new styles and old school but I wouldn't want to go too modern. Some flourishes of unique architectural details are great.

Fences, in general, are not appropriate for Valley Junction (especially 5th street)

One story buildings have limited options for mixed use and often less architectural character, particularly for midblock sites.

I don't like when all of the buildings are the same height, because it is too closed in. Like you're in a tunnel with an open roof.

Trees and shrubs soften the lines . Flower boxes and hanging planters are wonderful if they are well tended.

The seating area with bright lights and colors is a nice mix of function and art. It could enhance our nightlife in the area.

I think the current transition area with some former houses serving as business locations lends itself nicely to the VJ area

“We had a great conversation on how to preserve history while also embracing the future.”

- Local Resident and Business Owner who took part in the 'Small Nation Neighborhood Workshop' held on November 17th, 2021 at Stilwell Junior High School.

Celebrating Our Past, Shaping Our Future

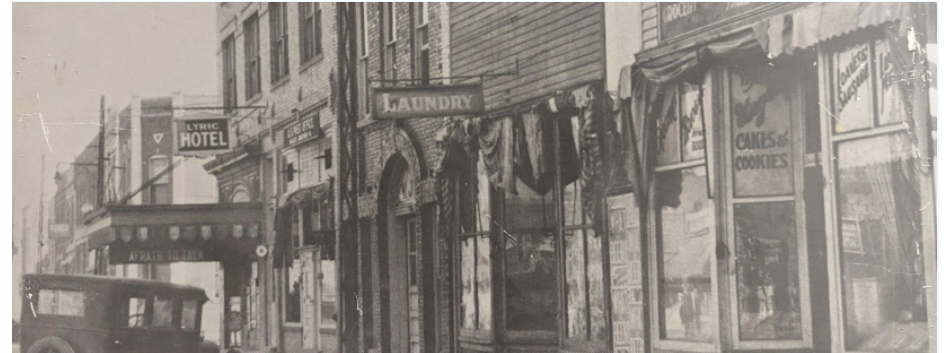
Purpose + Intent

The Historic West Des Moines Design Guidelines are derived from design and planning best practices, and an extensive community outreach program as part of the Historic West Des Moines Master Plan Update. A Steering Committee comprised of resident and business leaders in the area played an integral role in guideline development. These guidelines provide recommendations on the type, character and quality of the built environment and are a tool to communicate the design intent for future redevelopment. **Guidelines apply only to new construction, renovations, or additions. No changes to existing development are required.**

The overall goal of the guidelines is to ensure quality development that aligns with the area's treasured historic form, while promoting and shaping a successful future. The guidelines are an important and effective means for building that vibrancy and economic prosperity by implementing a unified vision.

Existing building and zoning codes regulate the use of property and set standards for how land can be developed. Design review, however, works to ensure new construction, and changes to existing buildings are compatible with desired architecture and design aesthetics, and reflect the context of surrounding properties relative to built form. These guidelines are part of that design review and help ensure future development, redevelopment and remodeling enhance the visual quality and identity of HWDM.

The successful implementation of these guidelines will reinforce the area's image as a historic, eclectic, quaint and inviting place to live, work, shop, and gather. The design guidelines are incorporated into regulatory ordinances to be enforceable.



How do I secure approval?

Guidelines, Codes & Plans

“Harmony is essential to the spirit of the district; buildings don’t stand alone.” - Visual Preference Survey Comment

Just as buildings don’t stand alone, nor do the Design Guidelines for Historic West Des Moines. The Municipal Code and Design Guidelines, along with the Comprehensive Plan, and other documents, serve as complementary tools with reinforcing functions. Together they shape appropriate land use, development, design aesthetics, and quality of life.

Design Guidelines

The guidelines reflect desired aesthetics related to the built environment and complement existing requirements in the City’s zoning ordinance, building code, and other policies. **The guidelines apply to all properties in their representative districts, including the 53 buildings listed as “Contributing” within the Valley Junction Commercial Historic District.**

Codes + Ordinances

Municipal Codes and Ordinances supplement the design guidelines by adding details, dimensions, and regulations. Their focus is on identifying permitted and conditional uses by district, defining district locations and boundaries, and regulating bulk, height, and density of permitted uses.

Comprehensive Plan

The Comprehensive Plan provides an overarching vision for the City, along with goals and actions to achieve such. It addresses near-term and long-term goals and objectives, along with implementation partnerships and resources needed to improve quality of life.

Factors of Development Review + Approval



HISTORIC WEST DES
MOINES DESIGN
GUIDELINES



MUNICIPAL
CODE, ZONING, +
PUD ORDINANCES



OTHER RELEVANT
PLANS, CODES AND
ORDINANCES



PLANNING
STAFF + CITY
DEPARTMENTS



PLANNING +
ZONING
COMMISSION



CITY
COUNCIL

Importance of Consistent Application

Historic West Des Moines offers a unique appeal not found in other areas of the City. The Design Guidelines (and other relevant Codes, Ordinances, and Plans) help preserve and enhance this appeal. The collective suite of implementation tools and reviewing bodies, as highlighted above, work together to communicate and reinforce design intent and standards for future development and redevelopment. City officials and staff should apply these guidelines with consistency to reinforce the desired appeal and character of the area. Further, consistent application demonstrates clear and predictable expectations and treatment of applicants across varying submittals.

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A: The National Register, which is maintained by the National Park Service, was designed to identify and document historic places across the country whose preservation should be encouraged. National Register listed properties must retain their historic character and be important in American history, architecture, archaeology, engineering, or culture at the local, state, or national level. The National Register Criteria for Evaluation is the authoritative guide for determining historical significance or historic preservation value.

A: Properties are listed in the National Register through nominations by the State Historic Preservation Officers or SHPOs (in Iowa, this is a function of the State Historical Society). Contact your SHPO or check their webpage for National Register information, research materials, and necessary forms to begin the nomination process. To better understand how to successfully nominate a property and what aspects will be reviewed, click the resource links below.

- ### Q: How long does it take to list a property?

A: After SHPO has received a substantially complete nomination, it typically takes approximately six to nine months. This does not include the time it takes to prepare the nomination, and for that reason many folks hire a consultant given the level of research and time involved.

A: *The National Register does not prevent demolition or destruction of listed properties. The National Register is an honorific designation that provides incentives to preserve properties, but does not control the actions of private owners. The prevention of demolition would need to be achieved through a local ordinance (law) that would prevent a demolition permit being issued.*

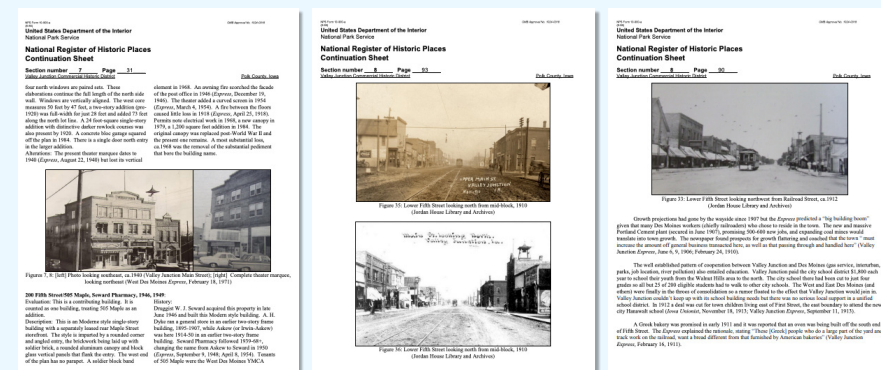
A: For a property to be historically significant, architects and historians generally recognize three kinds of preservation value:

- **Associative Value:** The significance of a property based on its association or linkage with important events, persons, or patterns of events;
- **Design Value:** The embodiment of noteworthy characteristics of architecture, material culture, or technology.
- **Ability:** The ability of a property to yield important historical, architectural, engineering, or cultural information.

Currently, there are 53 properties that qualify as “contributing historic properties” in the Valley Junction Commercial Historic District. However -- this is not a static list; designation can be amended to add contributing properties via successful nomination.

October 1990

- [Click here to view the Nomination Form for Valley Junction](#)



The Secretary of Interiors Design Standards

To protect contributing historic resources in Valley Junction, *the Secretary of the Interior's Standards for the Treatment of Historic Properties* should be included as part of the Design Guidelines.

- ❑ These Standards are common sense **historic preservation principles** presented in non-technical language. They promote historic preservation best practices that will help to protect irreplaceable cultural and historic resources in Valley Junction.
- ❑ The Standards offer four distinct and interrelated approaches to the treatment of historic properties—**preservation, rehabilitation, restoration, and reconstruction**—with accompanying Guidelines for each. They provide a framework and guidance for decision-making about work or changes to a historic property.
- ❑ Projects in Valley Junction Commercial District will most likely utilize the **Rehabilitation** treatment due to future renovations on contributing historic properties already listed on the National Register of Valley Junction Commercial Historic District.
- ❑ The **Standards and Guidelines** work together to cover historic properties of all types, materials, sizes, construction styles, and uses (both interior and exterior). They can be applied to a property's landscape features, environment, site, or other related new construction as well.
- ❑ The **Standards for the Treatment of Historic Properties**, codified in 36 CFR 68, are regulatory for all local, state and federal grant-in-aid projects. The **Standards for Rehabilitation**, codified in 36 CFR 67, are regulatory for the review of rehabilitation work in the Federal Historic Preservation Tax Incentives program.

Secretary of the Interior's Standards for the Treatment of Historic Properties

The following Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Historic Preservation Tax Incentives

The following tax credits and exemptions programs are available to contributing properties listing in the Valley Junction Commercial Historic District. These programs are to encourage the reuse of historic properties, while retaining historic character-defining features. The State Tax Credit, Federal Tax Credit and County Tax Exemption programs contribute to the revitalization and preservation of historic properties across the state of Iowa.

The three incentive programs use the Secretary of the Interior's Standards for Rehabilitation of Historic Buildings and the Guidelines for Rehabilitating Historic Buildings. Multiple incentives program use is encouraged.



1. Iowa State Tax Credit

The State Historic Preservation Office of Iowa administers the State Historic Preservation and Cultural and Entertainment District Tax Credit Program (HPCED) in partnership with the Iowa Economic Development Authority (IEDA).

The State Historic Preservation Tax Credit Program provides a state income tax credit for the sensitive, substantial rehabilitation of historic buildings. It ensures character-defining features and spaces of buildings are retained and helps revitalize surrounding neighborhoods. The program has a multi-part application process which offers a fully refundable and transferable tax benefit for up to 25% of the qualified rehabilitation expenses (QREs) for the sensitive rehabilitation of historic buildings.

The [Iowa Economic Development Authority \(IEDA\)](#) will administer the program and accept the next round of applications, referred to as a registration round.

2. Federal Tax Credit

The [Federal Historic Preservation Tax Incentives Program](#) encourages private sector investment in the rehabilitation and re-purposing of historic buildings.

The federal tax incentives program for Iowa properties is administered by the National Park Service (NPS) and the Internal Revenue Service (IRS) in partnership with the State Historic Preservation Office of Iowa. Each entity performs the following roles and responsibilities.

Complete information is available with the [Technical Preservation Services](#) The amount of credit available under this program equals 20% of the qualifying expenses of your rehabilitation

3. Polk County Property Tax Exemption

The State Historic Preservation Office administers the County Historic Property Tax Exemption Program in partnership with County Boards of Supervisors. The following is a link for information regarding the County Tax Exemption:

<http://web.assess.co.polk.ia.us/cgi-bin/web/tt/infoqry.cgi?tt=adjustments/summary/HP>

The program offers a local property tax incentive for the sensitive "substantial rehabilitation" of historic buildings. It includes a 4-year "freeze" on property tax increases, followed by increases of 25% per year for the following four years to adjusted value post rehabilitation.

How do I secure approval?

Getting Started Checklist

Depending on the type and nature of your submittal, the required documents and steps to achieve approval may vary. All development projects begin with a Pre-Application Meeting. The Pre-Application Meeting serves two important functions: (1) it allows staff to review initial plans and communicate expectations and requirements prior to the official application being filed; and (2) it provides the applicant the opportunity to ask questions to better understand how to prepare or refine their project to best ensure an efficient review process, with their project being supported and approved.

After the official application, fees, and project plans have been submitted, materials will be distributed to varying departments for detailed review and comment. Once comments have been addressed, the project is scheduled for consideration by the appropriate approval body. To learn more about the development review process, submittal needs, and online application portal please visit the City's website:

<https://www.wdm.iowa.gov/government/development-services/online-development-center>

1-2-3 Getting Started!

1

Review Guidelines + Codes

Review the applicable section(s) of this guidebook and City Codes related to your proposed scope of work.

2

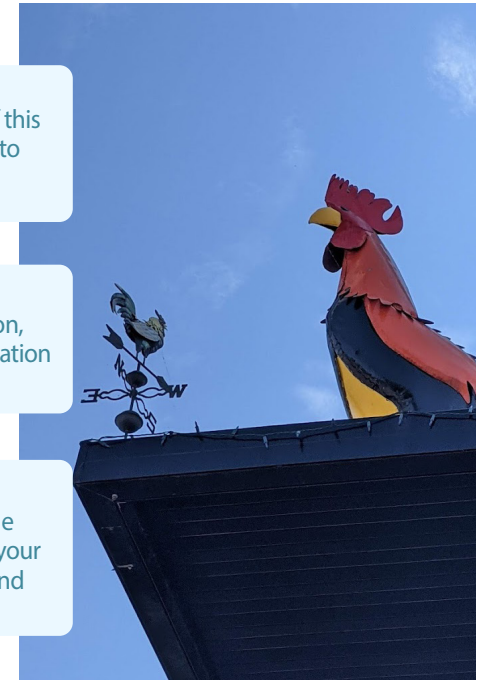
Pre-Application Meeting

Prepare initial materials, information, and plans and submit a Pre-Application Meeting Request Form.

3

Submit Application, Fees, & Plans

Following guidance provided at the Pre-Application Meeting, prepare your official application and design(s) and upload to the online portal.



SUBMITTALS MAY REQUIRE THE FOLLOWING



PRE-APPLICATION
MEETING



DEVELOPMENT
APPLICATION
(payment of fees)



PLAN
REVIEW + COMMENT
(modifications as necessary)



PROJECT
APPROVAL
(varying parties)



BUILDING
PERMIT



DEVELOPMENT
CONSTRUCTION
INSPECTIONS
GRAND OPENING

What are the varying typologies?

Design Districts

These Design Guidelines address and include three Design Districts. General descriptions of the districts are noted below and their boundaries are defined on the next page.

Typology 1: Mixed Use Commercial District (ZONING REFERENCE VJ-MU)

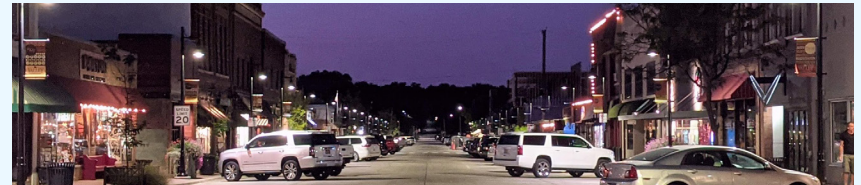
The Mixed Use Commercial District, also known as the Historic Valley Junction Business District, is the heart and soul of Historic West Des Moines. Centered along 5th Street, this walkable, charming area with railroad roots is characterized by a mix of traditional and eclectic 2-3 story mixed-use buildings, mid-block alleyways, art and patios. Timeless architecture unifies the district, with colorful pops of character sprinkled throughout signage, awnings, entryways, and public art.

Typology 2: Transitional District (ZONING REFERENCE VJ-TR)

The Transitional District includes the lower density, primarily residential areas that neighbor the Mixed Use Commercial District. Buildings are predominately 2-3 stories and include a mix of old and new starter homes, rowhomes, townhomes, live-work dwellings, and low-intensity retail and office uses. Buildings are all residential in appearance with traditional roof forms; i.e. hipped, gable, dormers. Quality articulation, landscaping, and an abundance of front entry porches give the district a quaint appeal and walkable, neighborhood charm.

Typology 3: Railroad Avenue District (ZONING REFERENCE RA)

The Railroad Avenue District is similar in scale and architecture to the Mixed Use Commercial District but with building setbacks, a possible road diet, and bumpouts to support an inviting, walkable environment. The auto-oriented corridor and surrounding residential neighborhoods require thoughtful planning with regards to building form, parking, circulation, landscaping, and screening. Potential uses may include a mixed-use, residential and retail environment with some specialty destination-style uses, such as a boutique hotel and unique dining experiences. Celebrating the area's Railroad Roots via art and streetscape elements is a priority.



Where do the Guidelines apply?

Design Districts

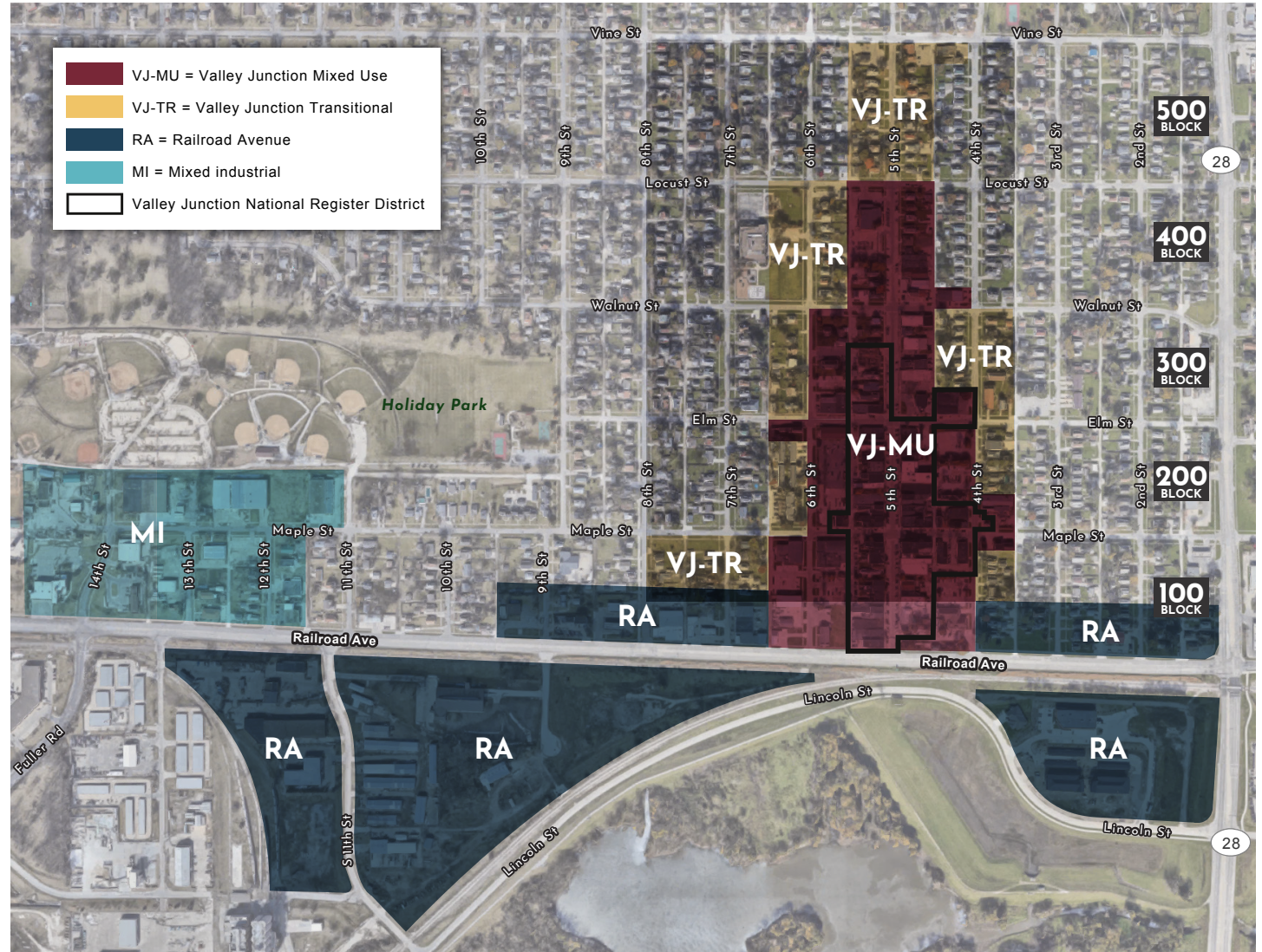
Chapter 1 Mixed Use Commercial VJ-MU



Chapter 2 Transitional VJ-TR



Chapter 3 Railroad Avenue RA



What aspects of design are addressed?

Guideline Categories

The Guidelines are broken out into chapters based on design districts. Each chapter includes Architectural Design Guidelines as well as Site + Streetscape Design Guidelines. The categories and topics covered in these sections are highlighted below. If you are ever unsure which chapter, district, or section you are in while reviewing this document, simply refer to the header at the top of each page for easy navigation.

Architectural Design Guidelines

The purpose of the Architectural Design Guidelines is to assist property owners, developers, architects, contractors, and designers in the renovation or construction of buildings in a manner compatible with the architectural heritage and character of Historic West Des Moines. The Guidelines provide criteria by which buildings should be designed and reviewed, in order to be compatible with and contribute to the quality of the varying design districts. The Architectural Design Guidelines are provided for each district and generally address the following categories:

- Community Preference Snapshot
- Building Scale + Siting
- Architecture + Roof Treatments
- Ground Floor Details
- Materials + Palette



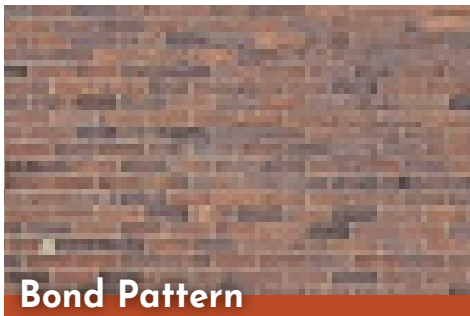
Site + Streetscape Design Guidelines

The purpose of the Site + Streetscape Design Guidelines is to enhance the living, shopping, working, and commuting environment in Historic West Des Moines. As the guidelines take root, they will support and enhance the existing environment while fostering a vibrant, walkable, safe, and connected community. The Site + Streetscape Design Guidelines are provided for each district and generally address the following categories:

- Community Preference Snapshot
- Site Furnishings
- Pedways, Patios, Parklets
- Sidewalks, Bump-outs, Crossings
- Landscaping
- Parking + Screening

Visual Design Glossary

Terms & Definitions



Aesthetic: relating to appreciation of design; pleasing appearance.

Baluster: an upright post supporting a rail or balustrade; a banister.

Balustrade: a row of balusters supporting a rail.

Bay: a compartment projecting from an exterior wall containing a window or set of windows.

Bond Pattern: a pattern formed by the masonry units and the mortar joints on the face of a wall.

Bracket: projecting support placed under eaves or other overhangs.

Bump-out: A curb extension used as a traffic calming measure, which widens the sidewalk for a short distance.

Canopy: a small overhanging cover or shelter above an entrance stoop.

Casement: a window sash that is hinged on the side like a door.

Character: prevailing existing architectural elements, including building mass, scale, and era they were built.

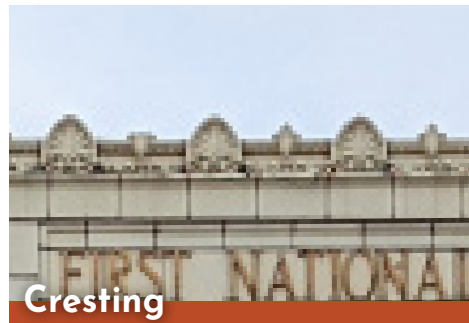
Column: a vertical structural member.

Context: the building or element is considered together with its surroundings in style, materials, and proportion.

Corbel: a bracket made of wood, brick, plaster or stone that projects from a surface to support a weight.



Cornice



Cresting



Dormer



Fanlight



Frieze



Gable Roof



Hip Roof



Hood

Corbelling: a series of projections, each stepped out further than the one below, usually found on brick walls.

Cornice: the horizontal projecting part crowning the wall of a building.

Compatible: able to exist or occur together without conflict.

Complement: an element that goes well with another element; elements can be adjacent and agreeable in scale, proportion, composition, and type but not identical in style or manner.

Cresting: an ornamental top border on a roof.

Crown: an uppermost or terminal feature in architecture.

Cupola: a small structure on top of a roof or building.

Delineation: general term meaning “details”.

Dormer: a roofed projection built into the slope of a roof, usually containing a window.

EFIS: Exterior Finish Insulation System (construction material)

Eave: the part of a sloping roof that overhangs the wall.

Façade: the face or elevation of a building.

Fanlight: a semicircular window with radiating sash bars like the ribs of a fan placed over a door or window.

Frieze: a plain or decorative band or board located on the top of a wall just below the cornice.

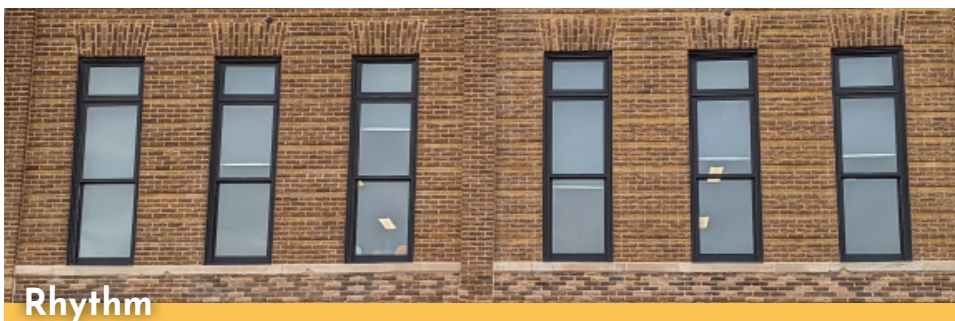
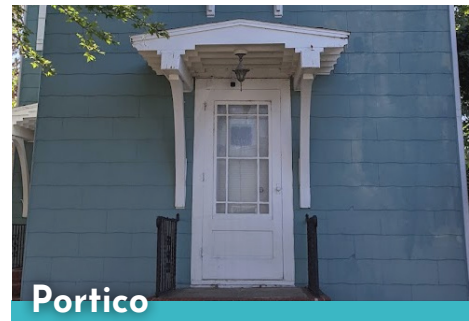
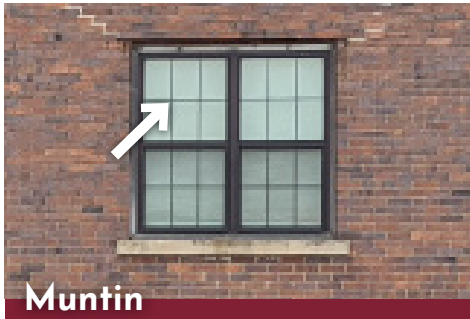
Gable: the triangular end of an exterior wall under a pitched roof.

Gable Roof: a sloping roof, usually with just two sides, that terminates at one or both ends in a gable.

Harmonious: forming a consistent or cohesive expression or appearance.

Hip Roof: a roof with four sloped sides.

Hood: a protective and often decorative cover situated above doors or windows.



Infill: a structure placed on a vacant lot within a neighborhood.

Integrity: adherence to a high level of historical, architectural accuracy and relatively unchanged since constructed.

Kneewall: is the area between the sidewalk and display windows, usually made of brick, wood, tile or metal.

Massing: the bulk of a building.

Mitigation: the act of lessening a negative impact.

Mullion: a vertical or horizontal element that forms a division between units of a window or screen.

Muntin: a strip separating panes of glass in a sash, or is used decoratively to enhance architectural style and character.

Oriel: a window built out from a wall and usually supported by brackets.

Pedestrian Scale: the proportional relationship between the dimensions of a building or building element, street, outdoor space or streetscape element and the average dimensions of the human body.

Permeable: permitting passage of water through its substance.

Portico: a roofed entrance porch, often supported by columns or pillars.

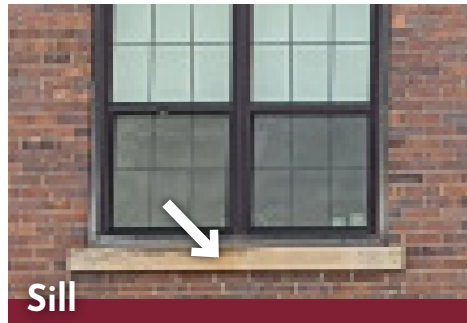
Primary Façade: front elevation of structure, usually facing a street and containing the main entrance.

Proportion: the relationships of the various objects and spaces that make up a structure to one another and to the whole.

Rhythm: the repeated physical characteristics of buildings within an area, on a street or block, including the building footprint, organization, and massing.

Sash: the framework into which panes are set.

Scale: proportionate size, extent, or degree, usually judged in relation to some standard point of reference.



Setback: the placement of a structure on a parcel in relationship to the lot lines and other elements such as the street and other buildings.

Sidelights: a vertical, fixed sash situated along a door or window, sometimes found in pairs.

Sill: a horizontal member immediately below the window assembly.

Site: a property parcel; building lot; location.

Stepped: recessed in a series; usually in reference to roof lines, building heights, and ledges.

Streetscape: the environment of the area adjacent to a roadway as defined by adjacent private and public buildings; pavement, character, street lighting, furniture, and the use of the right-of-way.

Streetscape Elements: all of the functional and decorative features that are placed, planted or built within the public realm. They include public utilities and amenities, and visible elements of service infrastructure, such as street lights and street trees.

Stucco: exterior wall covering consisting of a mixture of sand, lime, Portland cement and water; often mixed with crushed stone for texture.

Transom: a window above an opening such as a door or window built on a horizontal crossbar; often hinged on the top to swing open for ventilation.

Turrets: a small tower that projects vertically from the wall of a building.

Variation: a change or difference in condition, amount, or level, typically with certain limits. In design, variation describes how adjacent elements can contain different attributes with enough similarity to be recognizable as related. A pattern of variation generally requires the repetition of three or more elements.

Veneer: a superficial layer of material; typically in reference to a facade.

Visual Interest: focuses on the use of building materials, colors, architectural articulation, massing, roof pitch, window treatments, and other elements to create an attractive aesthetic on a building and/or site.

Chapter 1A · Architecture

Mixed Use Commercial

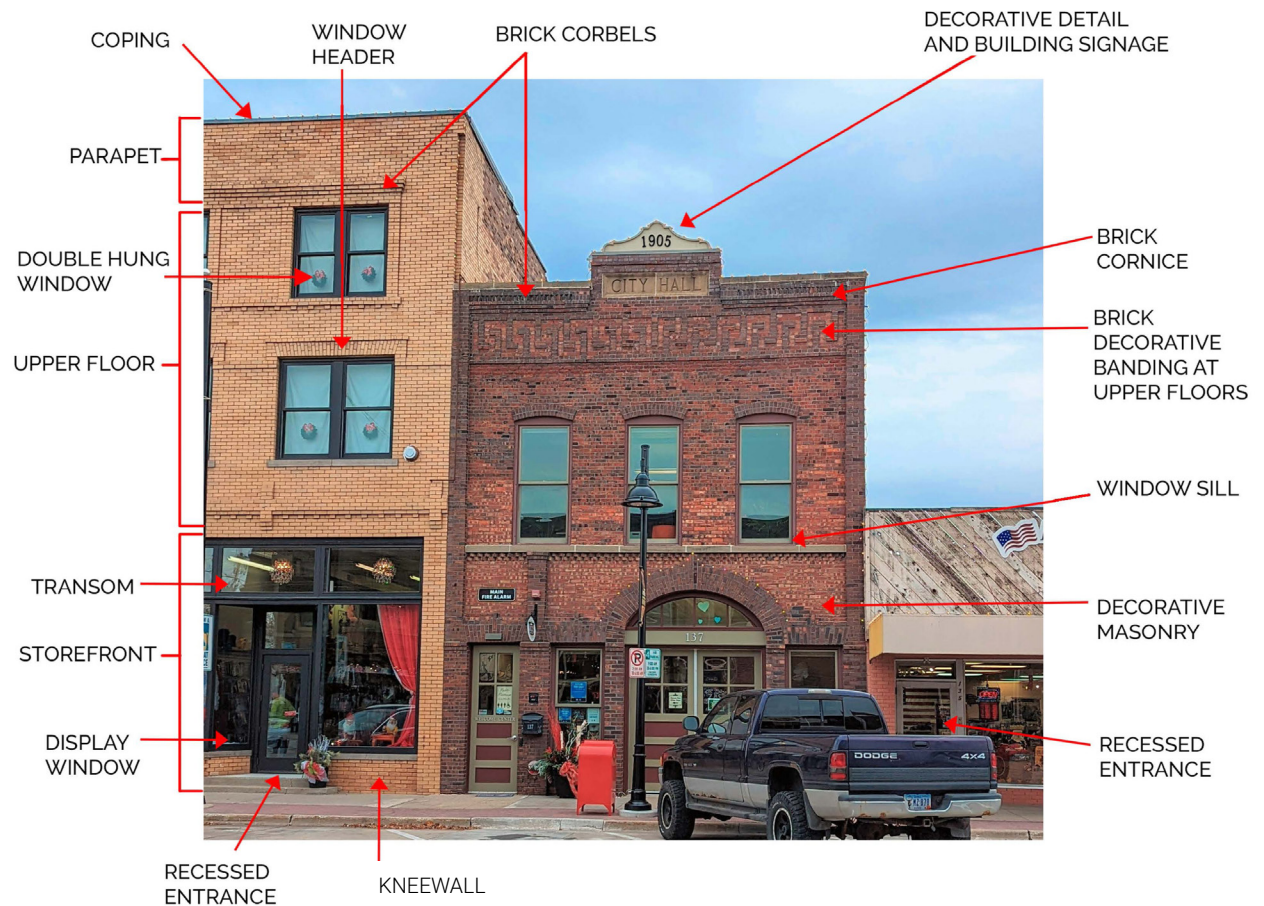
Architectural Design Guidelines

- Community Preference Snapshot
- Building Scale + Siting
- Architecture + Roof Treatments
- Ground Floor Details
- Materials + Palette

REPRESENTATIVE DIAGRAM:

Mixed Use Commercial District Building

The facade features in the diagram showcase architectural articulation representative of traditional architecture. The original City Hall building in Valley Junction is an excellent example of the type of design favorably rated and desired in the mixed-use commercial district.



Design District: Mixed Use Commercial Architectural Design Guidelines

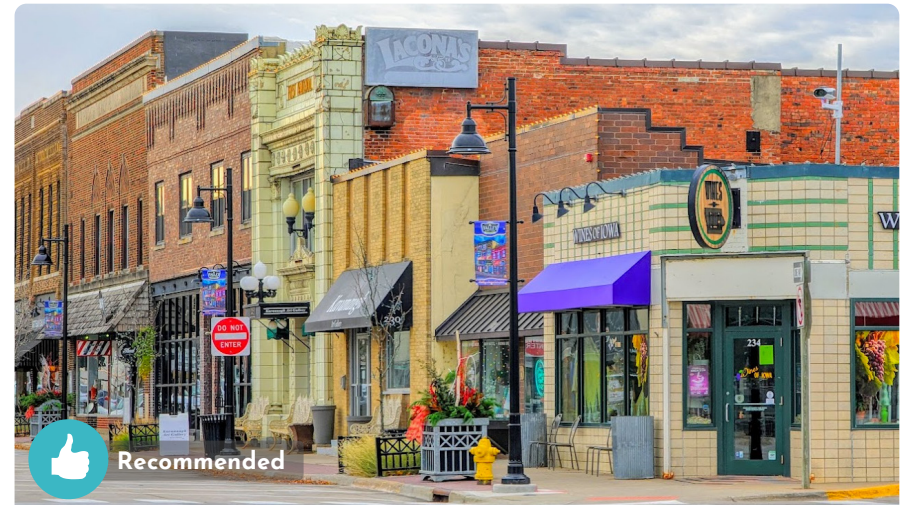
■ Community Preference Snapshot

During the visual preference activities, a strong preference was expressed for mixed-use buildings oriented towards the public street and along the sidewalk edge with high quality traditional architecture; visual breaks in building mass with upper floor setbacks; storefront proportions at the ground level; and clear definition of vertical and horizontal facade features. A strong preference was expressed against boxy, modern architecture and materials with relatively flat articulation and large uninterrupted expanses.

■ Building Siting and Scale

The size and overall height of development has an impact on community character and one's experience visiting and/or living there. The goal is to provide opportunities for economically viable design in a manner that thoughtfully responds to and respects the scale of the immediate and neighboring context.

- ❑ Buildings should sit along property line, except to provide for recessed storefront entrances, mid-block pedestrian passages, special corner features, or to provide for outdoor dining.
- ❑ Match or transition proportions of adjacent buildings; traditional first floor heights of ~10-12 feet are generally recommended.
- ❑ Drive-thrus are not appropriate and highly discouraged.
- ❑ One story and split-level buildings for new construction is not recommended.



Buildings flush to the sidewalk showcasing balanced proportions of single story step-up / step-down heights are recommended. Adjacent buildings should not exceed a one story difference in height, see recommendations and diagrams on next page.



Single story buildings setback from the property line are not recommended in the Mixed Use Commercial District.

- Height of new construction or additions shall not exceed 1 story over shortest **adjacent** building, and will be a maximum of 2 or 3 stories in height depending on such adjacencies.
- For the purposes of determining appropriate height of new construction or additions:

Adjacent shall refer to properties that are:

- Directly Adjacent: Next to applicant's site on same street face;
- Corner Adjacent: Next to applicant's site on side street; and
- Rear Adjacent: Directly behind applicant's site across alleyways.

Adjacent does not include properties across streets or parking lots.

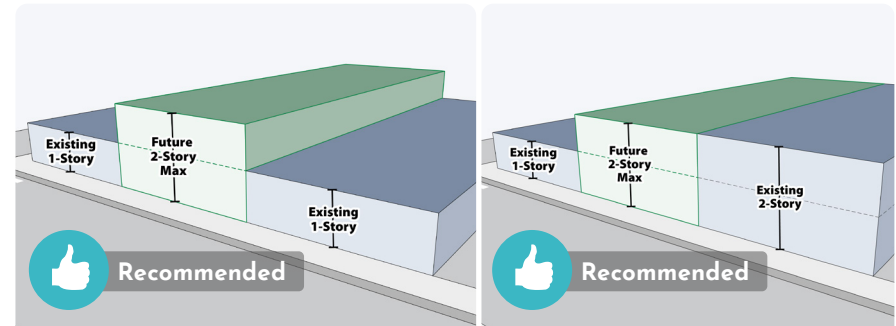
- For the purposes of determining appropriate height of new construction or additions:

Adjacent buildings that include **half-stories** will be rounded down to the lowest whole number, i.e. buildings that are 1.5 stories will be viewed as 1 story, 2.5 stories will be viewed as 2 stories. This system of measurement helps ensure height of new buildings or additions respects the surrounding context of existing structures.

Design District: Mixed Use Commercial

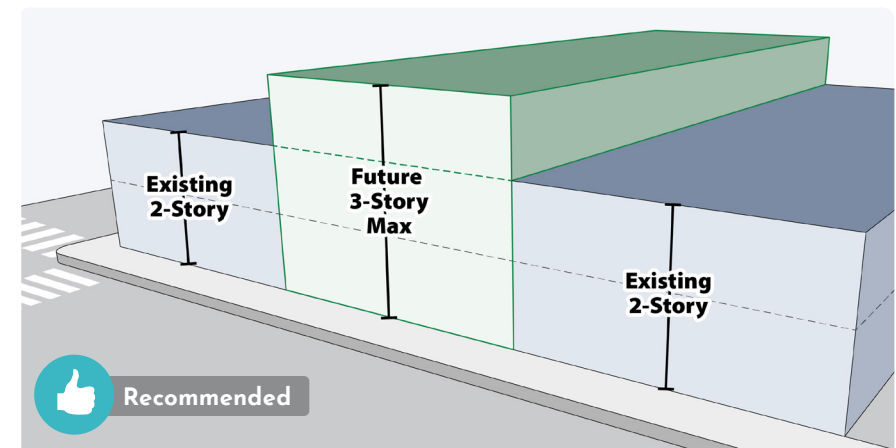
Building Height Diagrams: New Construction

Infill Development: Permitted 2 Story Scenarios



2 Stories permitted when adjacent buildings are between 1 and 2 stories. In the examples above, a 2 story structure on the center site is permitted, whereas a 3 story structure is not. Single story buildings are not recommended for new construction in this district.*

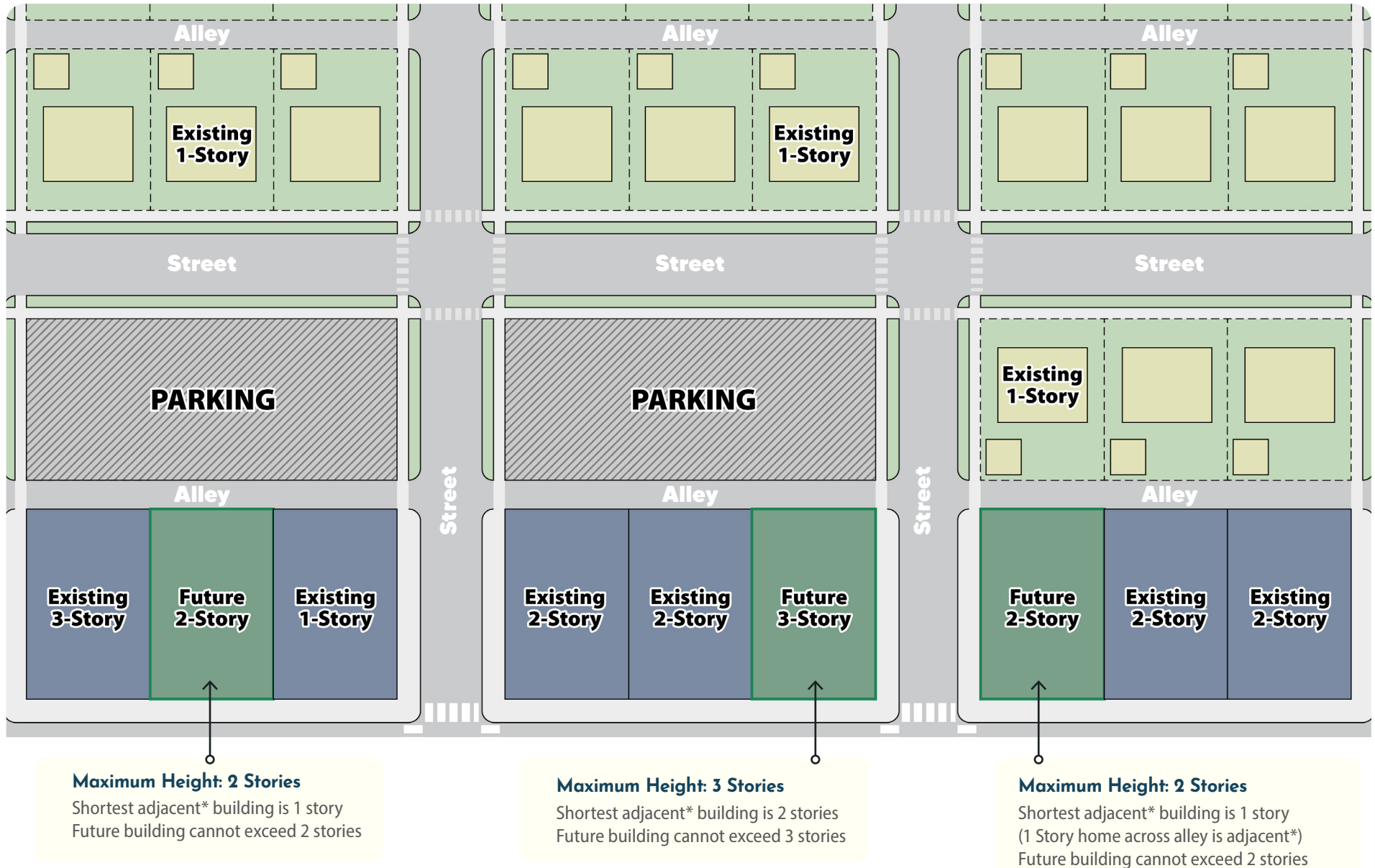
Infill Development: Permitted 3 Story Scenario



3 Stories permitted when adjacent buildings are between 2 and 3 stories. In this example, a 3 story structure on the center site is permitted, a 2 story structure would also be permitted. Single story buildings are not recommended for new construction in this district.*

Design District: Mixed Use Commercial

Building Height Diagrams: New Construction Shall Not Exceed 1-Story Over Shortest Adjacent Building



* See definition of "adjacent" on previous page.

■ Architecture + Roof Treatments

- ❑ Height of first stories should generally align with adjacent structures (give or take 2-3 feet) and be defined through elements such as cornice lines, horizontal delineation, and awnings.
- ❑ A variety of rooflines and parapets create an interesting profile in the majority of the district. New structures should continue this variety of stepped roofs, limiting height differences to one story, ~10-12ft.
- ❑ Buildings should express clear definitions between building elevations via architectural articulation and may include masonry details such as corbels, accents, various bonding patterns, kneewalls, and cornices.
- ❑ Long, flat, uninterrupted facades are not recommended.
- ❑ Buildings located on corners should integrate design features that create focal points and acknowledge the corner such as upper floor turrets, bays, and corner-oriented entries / signage; features should be sensitively incorporated.
- ❑ Windows and doors should be spaced evenly and located to create visual continuity with existing structures.
- ❑ Upper floor windows should be uniform and run in a rhythmic pattern along the façade; double hung, mullions, and muntin patterns with decorative masonry or wood casements are recommended.
- ❑ Upper floor decorative patterns, cornice, and banding are recommended in masonry, metal or wood.
- ❑ Rear and/or side entrances should look inviting and be articulated much like sidewalk facing entrances when visible from streets, adjacent parking areas, or other buildings.
- ❑ Rear of building should allow for trash bins, employee parking, and deliveries.
- ❑ As a general design best practice, roof form should extend to hide



Architecture Rated 4.3 out of 5.0 | The photo above was one of the highest rated images in the mixed-use commercial category of the Visual Preference Survey. Traditional main street architecture, earth tone materials, and arched windows are recommended.



Height of first stories generally align with each other and are reinforced via details including awnings, cornices, kneewalls, double-hung windows, entries, and sign bands.

Design District: Mixed Use Commercial

Highs + Lows of Visual Preference Survey Results



Architecture Rated 4.4 out of 5.0 | The photo above was one of the highest rated images in the Visual Preference Survey. Two story brick buildings with cornices, parapets, and window articulation are recommended



Architecture Rated 4.5 out of 5.0 | The photo above was the highest rated images in the Visual Preference Survey. Articulation of focal points for corner buildings and interesting cornice lines are recommended.



Architecture rated 1.9 out of 5.0 | Boxy building forms setback from the property line with horizontal metal banding, inset ground floors, and parking in front is not recommended or preferred. Building siting creates gaps in the streetwall and adds curb-cuts that negatively impact the pedestrian / shopping environment.

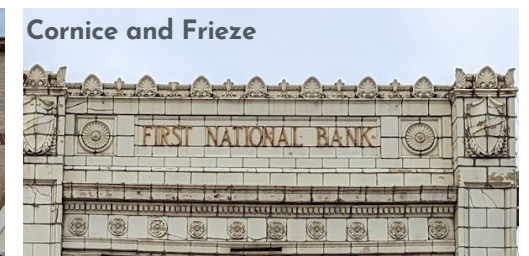
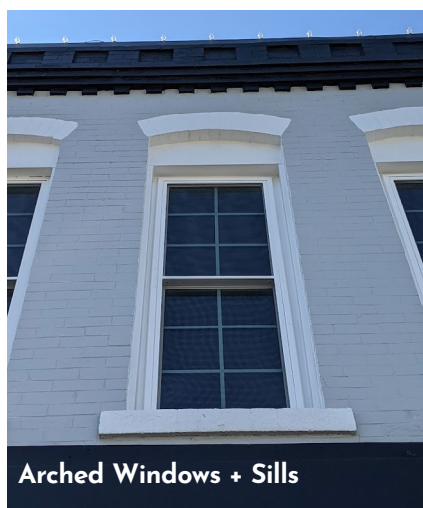
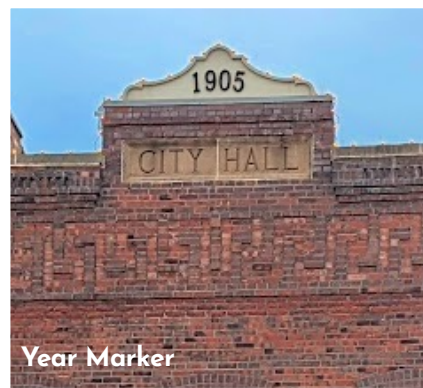


Architecture rated 1.9 out of 5.0 | The photo above was one of the lowest rated images in the Visual Preference Survey. Non-traditional window spacing of varying sizes, large box-like building forms, unarticulated side facades, and recessed ground floors are not recommended.

Design District: Mixed Use Commercial

Spotlight on Upper Story Facade Details

As highlighted by these photos, existing upper stories in the Mixed Use Commercial District present an array of interesting window shapes, accents, cornice lines, parapets, and decorative masonry details. Integration of similar patterns, spacing, and architectural delineation in redevelopment, renovations, and new developments will celebrate and unify the district as it moves into the future.



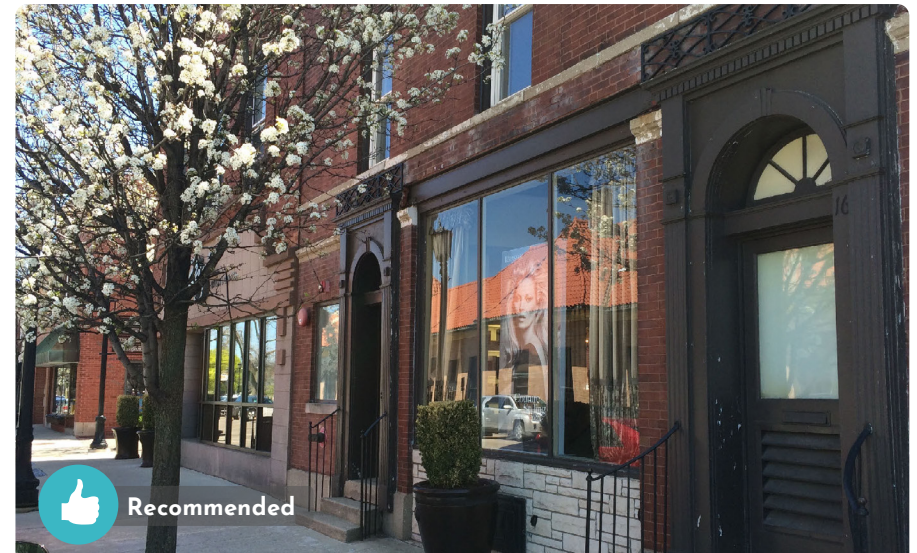
mechanical equipment from the street and screen from neighboring views. Equipment screens should be treated as part of the architectural design with similar detailing and materials as building architecture.

- ❑ Additions should appear of the same period / architectural style / materials as the existing structure, and should not have adverse effects on the original design and/or structure. Building additions and alterations are subject to all applicable guidelines noted herein.
- ❑ The massing and proportions of additions should align and contribute to the character and hierarchy of the existing structure and complement neighboring structures.
- ❑ Building alterations and/or new elements on historic structures may be permitted so long as they are easily reversible and can be removed without damaging the historic fabric, should a new owner or tenant wish to pursue a more historic storefront at a later date.

■ Ground Floor Details



Facade alteration on an existing historic building in the district showcases how new display windows can be installed, while preserving original brickwork, entry areas, and ornate metal banding.



Ground floor includes large glass retail windows, kneewalls defining base elevation, arched entrances, fanlight transoms above doors, and decorative wood articulation.



Lack of transparency and architectural articulation does not cater to pedestrian experience sought for ground floors in the Mixed Use Commercial District. Glass block windows and steel security doors are not recommended or preferred.

Design District: Mixed Use Commercial

Spotlight on Awning Design

Awnings in the Mixed Use Commercial District have a long history of adding to and shaping the character, personality, and appeal of the area. Awnings serve a multitude of functions including:

- **Defining** an inviting pedestrian-scaled environment;
- **Delineating** first floor heights of buildings and rhythms of blocks;
- **Shaping** an enjoyable shopping experience and providing shade;
- **Celebrating** the personality and brand of individual businesses.

As redevelopment, renovation, or new development occurs, ongoing attention to the continuity of this eclectic character is important.



- ❑ Storefronts are encouraged to include prominent doors, kneewalls, recessed entrances, large display windows, transoms, and awnings.
- ❑ Historic markers celebrate and commemorate the history and legacy of people and spaces. Integrating markers to preserve and acknowledge intangible stories elevate the significance of buildings and spaces.
- ❑ Doors that are entirely metal and appear to be industrial in design / lacking articulation, are not recommended.
- ❑ Projecting elements, including canopies and awnings, should have a pedestrian scale, be proportional with and complementary to nearby buildings and awnings, and located so that they do not create a significant visual barrier to adjacent uses.
- ❑ Canvas is the preferred awning material; metal and composite material may be considered if complementing or matching adjacent structures.
- ❑ Awnings should be mounted in locations that respect the design of the building and do not obscure ornamental features including the piers, storefront cornice, and second story sills. Recommended location is above the display windows and below the cornice or sign panel; refer to zoning code for detailed dimensions.
- ❑ Awnings should not be duplicative of wall signs in the same line of sight.
- ❑ Facade and design features that enhance seasonal use and enjoyment of spaces, such as sliding windows and retractable roofs for open air dining in summer months, may be explored so long as they do not detract from building architecture and future saleability.
- ❑ Projecting blade signs, which are consistent with the City's sign code for the district, are recommended to encourage pedestrian environment



Building-mounted, decorative downlights, such as these gooseneck lights, are located above the first floor transom to illuminate the pedestrian corridor leading to the entry.



This photo highlights the same storefront as shown above but during evening hours. Lighting from within the store paired with large windows and gooseneck exterior lighting provides a wash of illumination and warm ambiance on the sidewalk and facade.

and visibility of shops.

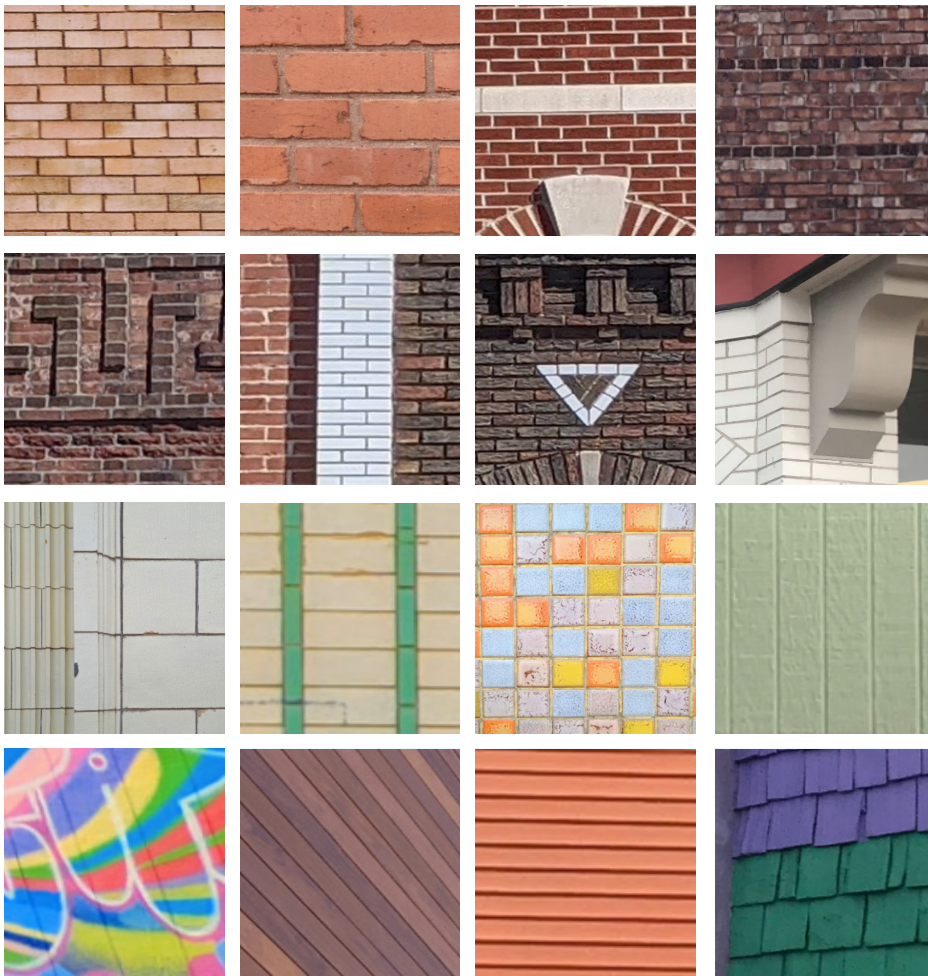
- ❑ Projecting blade signs should identify the business and are encouraged to do so in a fun, creative, and attractive way that establishes a sense of place and reinforces the character of the district.
- ❑ One-of-a-kind blade signage via collaborative efforts between business owners, artists, and sign fabricators is encouraged to enliven the district.
- ❑ Signs for ground floor commercial tenants are encouraged on alley facades fronting parking.
- ❑ Ornamental lighting on building facades should be used to add attractiveness, safety, and security and be in the same character as the primary structure, shielded to avoid creating glare or impact upper story tenants / residents.
- ❑ Decorative down-lights should provide a soft glow and low level of illumination. Number and placement of fixtures should be chosen to provide a wash of illumination that is evenly distributed.
- ❑ Downcast and recessed or cutoff lighting fixtures should be used on buildings to illuminate pedestrian areas.
- ❑ Exterior lighting should be integrated with the architectural character.
- ❑ Lighting should be used to illuminate entryways and accentuate architectural or aesthetic elements, not the entire building.
- ❑ Electrical boxes, transformers, conduit, and utilities should be concealed.



Photos top and bottom: Existing blade signs in Valley Junction enliven the pedestrian environment with fun and interesting vistas while supporting local businesses through increased visibility and unique identifiers.

Design District: Mixed Use Commercial**Spotlight on Existing Building Materials + Palettes**

Building materials can greatly impact visual cohesion. In the Mixed Use Commercial District material choices should be made that support - not detract - from the existing historic character. Brick, stone and high-quality wood or composite sidings are preferred, however materials should be appropriate to the architectural style. Combining different types of materials and colors can add texture, charm, and personality.

**■ Building Materials + Palette**

Building materials in the district vary between brick, stone, wood, cast iron, and metals. Materials exist in different color palettes with the majority of the preferred colors being earth tones, which lends to the traditional style that currently exist.

- ❑ All exposed faces of buildings should continue to be treated with quality architectural finishes that are in keeping with existing building materials and color palettes in the district.
- ❑ The preferred building colors for this district are earth tones and should blend with the existing context of the other buildings along the street. Brighter colors may be used as accents or for trim, and in some unique situations may be appropriate for broader application.
- ❑ Materials on buildings should be generally capped at 4 colors.
- ❑ Use of exterior color that reinforces corporate branding is not recommended and shall be treated as signage.
- ❑ Predominately masonry materials (brick or stone) are recommended.
- ❑ Vinyl or Exterior Insulation Finishing System (EIFS) is generally not appropriate.
- ❑ Building context should be a priority when reviewing new construction, alterations and additions. Impact to existing adjacent structures shall be considered and reviewed through drawings, renderings and material boards when projects are being proposed.
- ❑ Differing building materials should not clash in color or finish, and be applied in a logical and attractive family (palette) of colors.
- ❑ Impact to existing adjacent structures shall be considered and reviewed through drawings, context renderings and material boards.

Chapter 1B · Site + Streetscape

Mixed Use Commercial

Site + Streetscape Design Guidelines

- Community Preference Snapshot
- Site Furnishings
- Pedways, Patios, Parklets
- Sidewalks, Bump-outs, Crossings
- Landscaping
- Parking + Screening

“ *Outdoor dining, murals, bump outs, wayfinding signs, lights/shade in walkways are all great ideas...* ”

Public art is a must for the enhancement of the area and pleasure of our guests.

- VISUAL PREFERENCE SURVEY COMMENTS



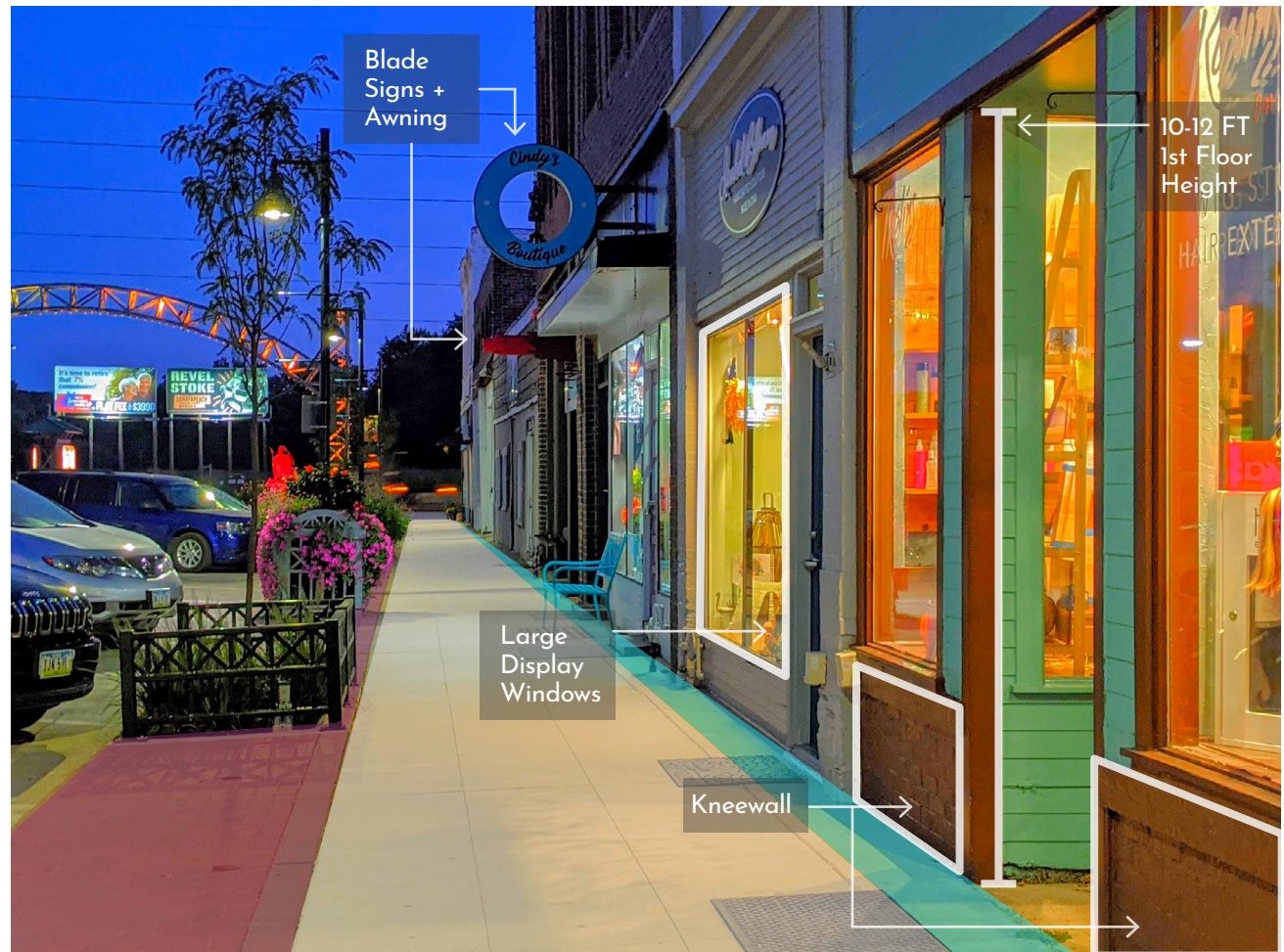
Design District: Mixed Use Commercial Site + Streetscape Precedents

■ Shaping The Outdoor Room

Site design, streetscape elements, and building architecture should come together to create what is referred to as an “outdoor room” i.e. an inviting and intimate environment for pedestrians and shoppers. The key theme in creating such is consistency in building setbacks, ground floor height, and streetscape rhythms across buildings and blocks within the district. The elements include:

- ❑ **Buildings at property lines**, create a consistent streetwall with recessed entryways, frontage zone for retailers, and amenity zone adjacent to parking curb. Some setbacks can occur if outdoor dining is located in front.
- ❑ Buildings share a consistent scale by maintaining **ground level heights between 10-12 feet** and reinforcing the **pedestrian scale** with **awnings** and architectural details such as **kneewalls**.
- ❑ **Entrances and windows** provide a consistent rhythm with regard to spacing and distance between each other.

These design principals are traditional in Main Streets and recommended as part of the Site + Streetscape Design Guidelines for the Mixed Use Commercial District.



Amenity Zone	Pedestrian Zone	Frontage Zone
2 Ft Pavers Planters Street Trees Light Poles	5 Ft Minimum Unobstructed Sidewalk Walking Area	3 Ft Maximum Entry Planters Sandwich Boards Small Benches <i>* This area must not impede the flow of pedestrian traffic.</i>

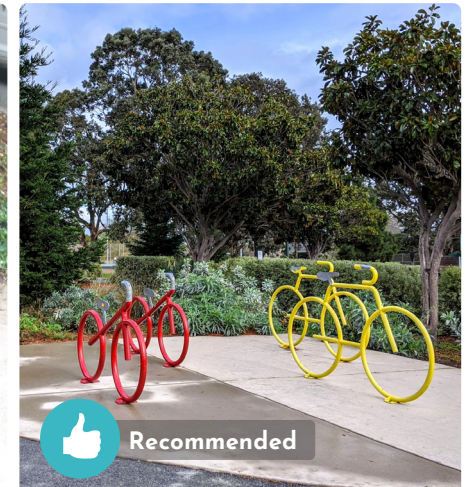
Design District: Mixed Use Commercial Site + Streetscape Design Guidelines

■ Community Preference Snapshot

During the visual preference activities, a strong preference was expressed to maintain, enhance, and better activate the high quality and pedestrian-friendly scale of the Mixed Use Commercial District. Input focused on elevating existing pedestrian accessways with outdoor dining, lighting, additional seating, shade features, landscaping, public art and murals, and seasonal programming. Improving mobility via traffic calming like bump-outs, colorful crosswalks, wayfinding signage, and uncluttered / wider sidewalks was reiterated. Ideas including parklets and added sustainability via landscape selections, recycling, and trash bins were also noted. The following design guidelines highlight these recommended treatments.

■ Site Furnishings

- ❑ Future public realm enhancements should seek to build upon the existing historic character of the district and remain in keeping with materials and context.
- ❑ Bicycle use is encouraged and should be supported via strategically located bike racks and repair stations; racks can be a form of public art by adding interesting shapes and color to the district.
- ❑ Trash and recycling cans that include rain hoods and clear colors / labeling are encouraged throughout the district. Bins should not impede foot traffic.
- ❑ Murals are encouraged on the sides of blank facades (where architecturally appropriate) and in pedways to enhance district identity, celebrate history, and add to the spirited vibrancy of the area. Business marketing via murals in pedways is discouraged and would be treated as signage.



Enhancing the ease by which visitors can keep the district clean and green via accessible trash and recycling receptacles is recommended. Bicycling should also be encouraged and racks provided.

Design District: Mixed Use Commercial

Highly Rated Streetscapes From Visual Preference Survey



Streetscape Rated 4.2 out of 5.0 | Wide walkable paved sidewalks and tree pits are made possible via a road diet that includes gradual bump-outs; bike rack bollards are interspersed to provide safety and function.



Streetscape Rated 4.2 out of 5.0 | Clearly defined red brick crosswalks flanked by bump-outs that include hardy boxwoods and ornamental trees; pedestrian plaza includes historical marker, matching rod iron benches and trash can.



Streetscape Rated 4.4 out of 5.0 | Brick pavers with Tivoli lights, acorn-style light poles, hanging planters, foundation plantings, and trellis structures creates an inviting and safe atmosphere for pedestrians. This photo was the second highest rated image in the streetscape category of the Visual Preference Survey.

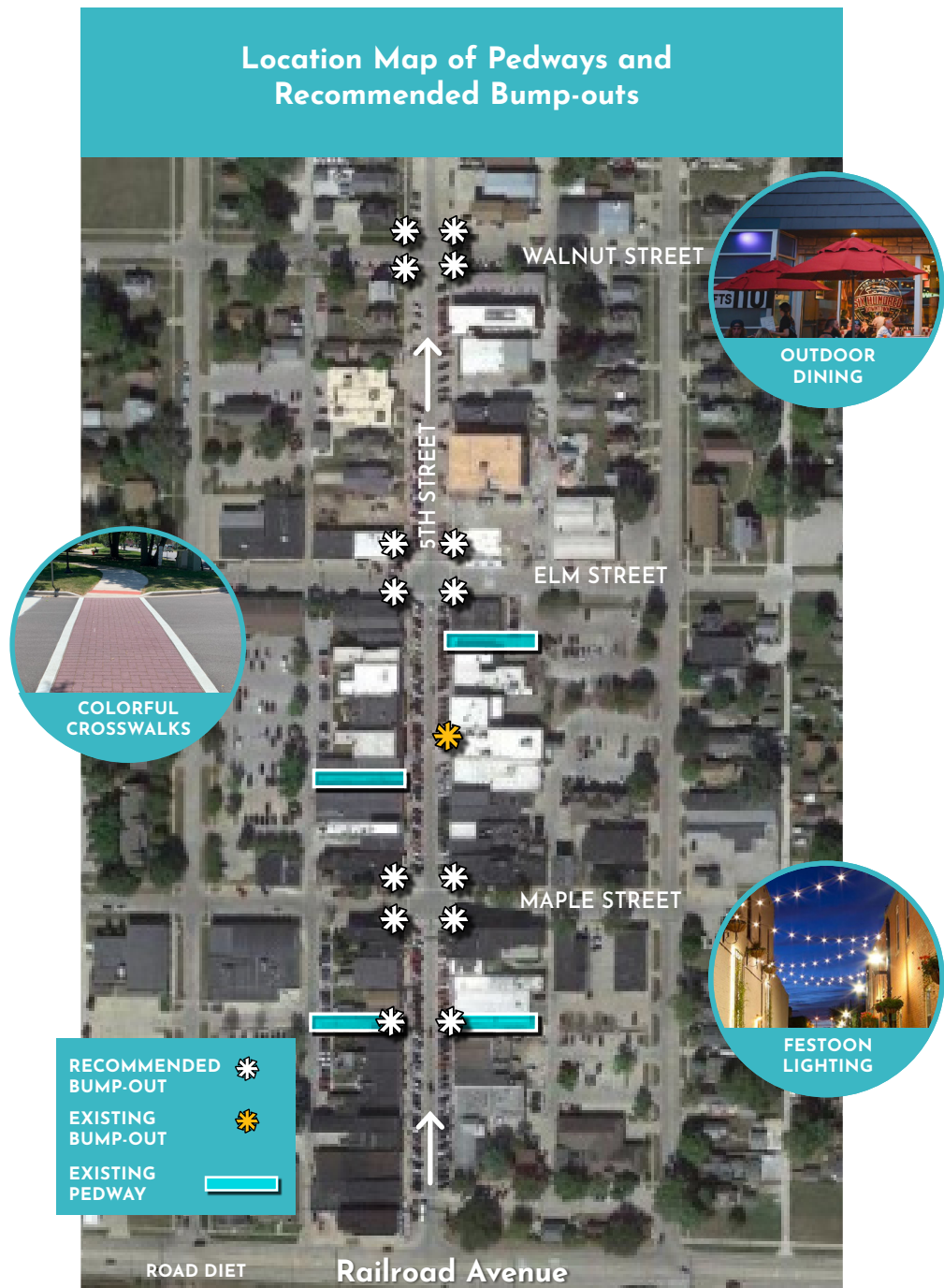


Streetscape Rated 4.5 out of 5.0 | The photo above was the highest rated image in the streetscape category of the Visual Preference Survey. Mid-block pedway includes tables and seating, overhead trellis, arched identity sign, and landscaping. Tables situated to provide easy movement through pedway from sidewalk and parking.

- ❑ More seating is desired throughout the district and should be focused in pedways, plazas, parklets, and bump-outs; seating should maintain ADA accessibility and not obstruct pedestrian movement.
- ❑ Style of tables, chairs, and benches should resemble metal, wood or other natural products. Plastic furnishings are inappropriate.
- ❑ For umbrellas, a consistent style of market umbrella is preferred that is secured/anchored and wind-safe; advertising on umbrellas is not recommended.
- ❑ Parklets should be considered to expand outdoor seating/dining opportunities.
- ❑ Cafes are encouraged in pedestrian pedways and parklets; they are discouraged in the existing sidewalk area.
- ❑ Improved wayfinding & directory signage are desired improvements to drive activity to sidestreets, especially Maple Street, and ensure visitors explore the district. Wayfinding signage is recommended at corner and pedway locations.
- ❑ Style of signs should reflect and complement the architecture of the building they are associated with.

■ Pedways, Patios, Parklets

- ❑ Pedways should be coordinated with building uses to support active outdoor dining, seating, seasonal activities and programming. Spaces should be visually and functionally accessible from the public street.
- ❑ Pedways should provide connectivity between parking areas and building entrances to maximize a pedestrian active zone.
- ❑ Pedways should incorporate lighting and landscaping to provide a safe and attractive walkway between parking and entrances.

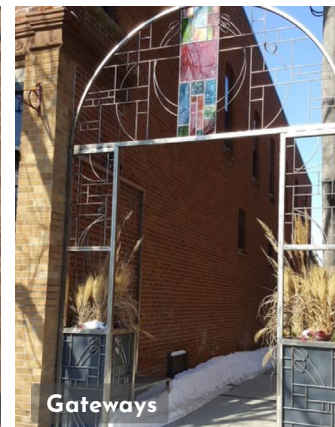


Design District: Mixed Use Commercial

Spotlight on Pedways · Precedent Pics

Mid-block pedways in the Mixed Use Commercial District have the potential to elevate the historic character, eclectic personality, and seasonal appeal of Valley Junction, while provided much needed (and desired) outdoor dining. The photos below are recommended activation and design concepts to help local businesses thrive and make the area an even more inviting and fun destination for shoppers, diners, residents, merchants, and visitors alike.

- ☐ Outdoor dining with overhead lighting and shade canopies to activate from day to night
- ☐ Mini plazas with seating and gateway arches to define entries
- ☐ Thematic murals on facades to highlight local history and add color
- ☐ Landscaping, overhead trellises, shade trees, and hanging planters
- ☐ Seasonal activities, programming, holiday markets, and sidewalk sales
- ☐ Flex infrastructure like retractable roofs for overhead protection



- ❑ Pedways should be defined with traditional streetscape furnishings, such as archways and/or landscape planters. Gateway treatments signal a special place and sense of arrival; arches mimic the gateway at 5th Street and Railroad Avenue, and serve as a form of public art.
- ❑ Decorative lighting, including festoon lighting, is encouraged above pedways to promote pedestrian-friendly night time use/ambiance.
- ❑ Outdoor dining should include high quality, durable, weather resistant furnishings comprised of metal, wood and/or composite materials; plastic should not be used. Outdoor furnishings shall maintain pedestrian and ADA access and comply with applicable fire codes.
- ❑ Parklets may be used to expand outdoor dining and event spaces during summer months.

■ Sidewalks, Bump-outs, Crossings

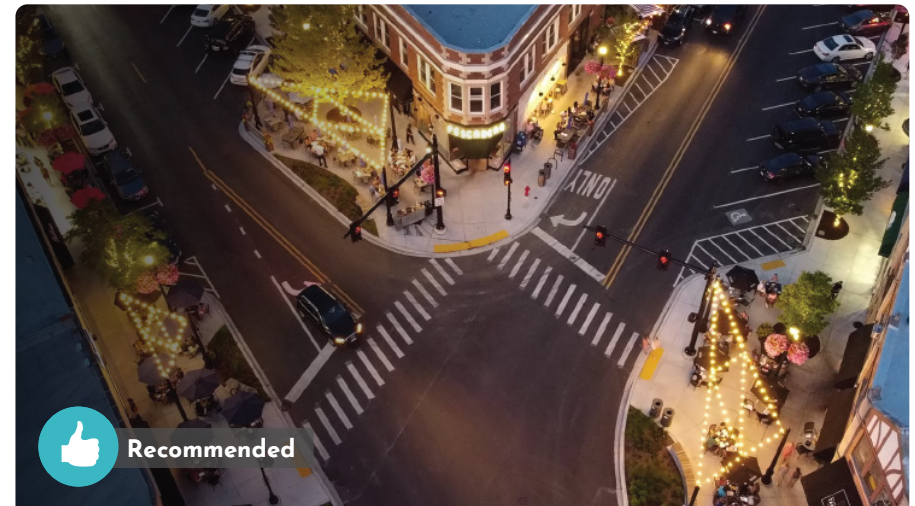
- ❑ An unobstructed pedestrian pathway should be provided between building entrances (front and rear), parking areas, and sidewalks. Crossings and sidewalks should all be ADA accessible.
- ❑ Bicycle mobility and pedestrian connections should be strengthened by extending streetscape enhancements, safer pedestrian crossings and improved wayfinding and placemaking.
- ❑ Bump-outs with safety bollards are recommended at intersections along 5th Street to calm traffic, enhance pedestrian safety, and provide opportunities for plazas, seating, plantings, decorative paving, and art.
- ❑ Bump-outs should be strategically placed to support retail and dining venues and provide space for any proposed street tree plantings and/or placemaking elements.
- ❑ Pedestrian crossings at intersections, as well as possible mid-block crossings, should be treated with painted or decorative paving.

“ **More murals, fun crosswalks, and parklets. Color, form, creative lighting, artwork, murals... we need all of it.** ”

- VISUAL PREFERENCE SURVEY COMMENT



A parklet is an urban space for sitting, dining, or enjoying greenery, established where the sidewalk meets the street, often repurposing on-street parking.



Drone photo of intersection showcases bump-outs at corners with overhead festoon lighting. Bump-outs provide space for plazas, outdoor dining, curvilinear landscape beds, and shorter crossing distances for pedestrians.

- ❑ 5th Street already serves as a pedestrian-oriented street capable of supporting events, street fairs, and markets. Removing curbs in key areas of the public realm promotes accessibility and allows for greater flexibility for public gatherings, street festivals and other events.
- ❑ Bollards help to delineate between pedestrian and vehicular spaces. However, the ability to remove the bollards when needed increases the flexibility of the space for different events.

■ Landscaping + Screening

- ❑ Landscaping should be (1) proportionally scaled to complement the environment in which it is placed, (2) fulfill a function of beautification, screening, and/or shade, and (3) not cause adverse safety issues by blocking sightlines of drivers, pedestrians, and cyclists.
- ❑ Buffer incompatible adjacent uses, i.e. parking areas and pedestrian walkways with landscaping. Landscape buffers are preferred over fencing; chain link fences not recommended and strongly discouraged.
- ❑ Landscaping should be selected for durability and year round appeal, and salt tolerance (especially in parking areas and adjacent to roadways is essential); native, non-invasive species and those that support pollinators are recommended.
- ❑ Complement and soften the visual intensity of developments, parking areas, dumpsters, and mechanicals with landscape screening. Parking lots and vehicular use area buffers should include evergreen and deciduous plantings that reduce the visual impact of parked cars and provides seasonal interest.
- ❑ Future tree plantings should utilize tree wells with adequate soil volume to support the development of a healthy tree and more substantial canopy.



Bump-outs are recommended for intersections along 5th Street in the Mixed Use Commercial District, as well as at mid-block crossings to align with the pedways. Crosswalks should be treated with painted or decorative paving to slow traffic and call attention to pedestrian zone.



Wonderful, lush planters already exist in the Mixed Use Commercial District. Additional landscaping used for buffers and screening purposes should be selected for durability and year round seasonal appeal; native species and those that attract pollinators are recommended.

Design District: Mixed Use Commercial

Site + Streetscape Design Diagram

BUMP-OUTS

Bump-outs are recommended to improve pedestrian safety and traffic calming at key intersections including 5th and Maple.

PARKING

On-street parking in the Mixed-Use Commercial district is provided in front of businesses for visitors and shoppers. Merchants and employees who drive to work should park on side streets or lot locations so as not to dominate parking for customers and visitors. Local residents should park in designated spaces, lots, and garages.

AMENITY ZONE

Streetscape furnishings including benches, landscape planters, tree pits, street pole lighting, banners, trash and recycling cans, and wayfinding signage should be located within the paved amenity zone between the sidewalk and parking. Spacing of furnishings is important to ensure ease of mobility and access for visitors to park and walk to businesses.

PAVING

Pavers define the streetscape edge, furnishing strip, and reinforces the historic/traditional masonry architecture and palette.



AWNING PLACEMENT

Consistent placement of street level awnings located below cornice line; awnings should not cover or disrupt architectural details on building.

GROUND FLOOR HEIGHT

Consistent height of ground floor (generally between 10-12 ft tall) across entire mixed-use block provides unifying rhythm to the buildings, entries, and shopping environment.

RECESSED ENTRIES

Provide ease of movement for shoppers and pedestrians, while allowing merchants to position their doors open during warmer months without blocking the sidewalk or impeding foot traffic.

FRONTAGE ZONE

The space provided by recessed entries and frontage strip running parallel to the public sidewalk provides an intimate space for retailers to add small planters, design accents and amenities to highlight entrances.

SETBACK + STREETWALL

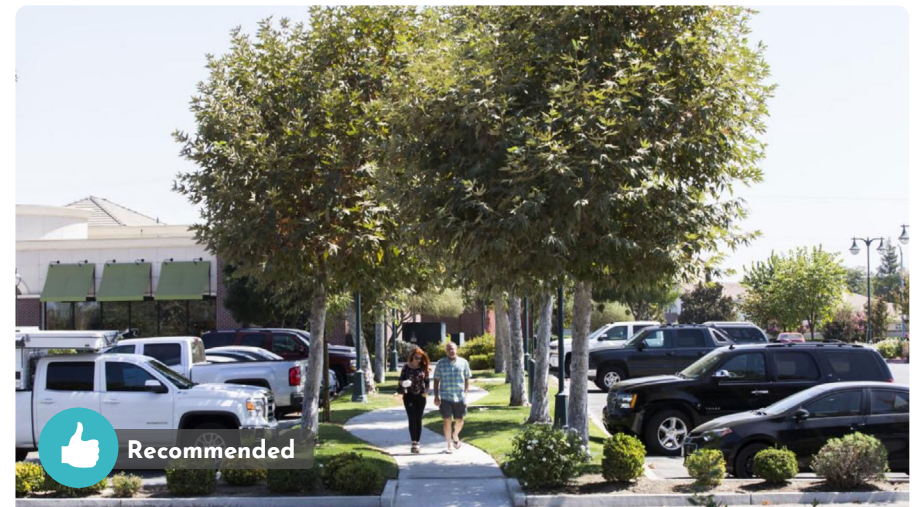
Buildings setback flush with property line creates a consistent street wall.

■ Parking + Screening

- ❑ Parking lot landscape plantings should consist of a combination of canopy trees, understory shrubs, and groundcovers. Shrub plantings should be selected such that they do not exceed 4'-0" maximum height at maturity.
- ❑ Plantings should be selected and installed such that they form a continuous landscape grouping within the planting bed.
- ❑ Proper irrigation and drainage is necessary for landscaped islands. Islands should have an easy method for providing irrigation or have water access within 100' of all parking lot landscaping.
- ❑ Connectivity and access through and to parking lots, sidewalks, and businesses should be intuitive and designed with user safety in mind.
- ❑ Integration of EV charging stations is encouraged.
- ❑ Green infrastructure and low-impact development techniques (i.e. bioswales, permeable pavement) to manage stormwater runoff both on-site and in the public right-of-way is encouraged.
- ❑ With redevelopment, care shall be taken with screening and the location of mechanical equipment, trash receptacles, dumpsters, service areas and outdoor storage facilities in such a manner that they are not visible from nearby streets, residences, sidewalks, customer parking areas, in accordance with zoning regulations.
- ❑ If property is located adjacent to or opposite residential buildings (back to back), attractive rear landscaping / screening per ordinance requirements shall be installed to buffer uses and provide attractive sightlines.



Landscaping should be proportionally scaled to complement the environment in which it is placed and further beautification of the site and surrounds.



Landscaping is critical to unify Design Districts, define pedestrian vs. automobile areas, and screen unsightly views.